

**FIRE SEPARATION NOTES - APPLY TO ALL PAGES:**

----- DENOTES A FIRE SEPARATION, REFER TO PLAN FOR WALL LOCATIONS AND RATINGS

- PATCH / REPAIR ALL FLOORS AND WALLS AS REQUIRED TO MAINTAIN INTEGRITY OF THE FIRE SEPARATION

**DOORS / PENETRATIONS:**

- FOR 45 MINUTE FIRE SEPARATIONS: ALL DOORS AND DOOR FRAMES IN A 45 MINUTE FIRE SEPARATION ARE REQUIRED TO BE RATED FOR 20 MINUTES. ALL OTHER OPENINGS (DUCTWORK, ETC.) TO BE PROTECTED BY A FIRE DAMPENER RATED FOR 20 MINUTES.
- FOR 1 HOUR FIRE SEPARATIONS: ALL DOORS AND DOOR FRAMES IN A 1 HOUR FIRE SEPARATION ARE REQUIRED TO BE RATED FOR 45 MINUTES. ALL OTHER OPENINGS (DUCTWORK, ETC.) TO BE PROTECTED BY A FIRE DAMPENER RATED FOR 45 MINUTES.
- ALL DOORS IN A FIRE SEPARATION TO BE EQUIPPED WITH A SELF CLOSER AND POSITIVE LATCHING MECHANISM.

**FURNACE ROOM NOTES:**

- INSTALL SMOKE DUCT DETECTOR IN RETURN AIR PLENUM TO SHUT OFF FURNACE IN THE PRESENCE OF SMOKE
- 1 HOUR F.R.R. REQUIRED TO WALLS AND CEILINGS OF FURNACE ROOM. INSTALL FIRE DAMPENERS IN DUCTWORK AND ALL OTHER OPENINGS.
- IF A CONTINUOUS FIRE RATING CAN NOT BE ARCHIVED, INSTALL SPRINKLER SYSTEM AS PER O.B.C. AND AS PER BUILDING DEPARTMENT (TO BE VERIFIED AND APPROVED BY BUILDING DEPARTMENT)

**FIRE SEPARATION ASSEMBLY SCHEDULE:**

**45 MINUTE / 1 HOUR FIRE SEPARATION WALL (W4a OF SB3, 51 STC RATING):**  
 5/8" TYPE 'X' DRYWALL  
 WOOD STUDS @ 16" O.C.  
 BATT INSULATION (OR EQUIVALENT SOUND ABSORPTIVE MATERIAL)  
 RESILIENT CHANNELS SPACED AT 24" O.C.  
 2 LAYERS OF 5/8" TYPE 'X' DRYWALL

**1 HOUR FIRE SEPARATION WALL (FURNACE ROOM):**  
 5/8" TYPE 'X' DRYWALL  
 2x4 WOOD STUDS @ 16" O.C.  
 5/8" TYPE 'X' DRYWALL

**45 MINUTE / 1 HOUR FIRE SEPARATION CEILINGS (F9, 51 STC RATING):**  
 SUBFLOOR  
 FLOOR JOISTS  
 BATT INSULATION (OR EQUIVALENT SOUND ABSORPTIVE MATERIAL)  
 RESILIENT CHANNELS SPACED AT 24" O.C.  
 2 LAYERS OF 1/2" TYPE 'X' DRYWALL

**CONSTRUCTION NOTES:**

- THE CONTRACTOR AND / OR OWNER IS RESPONSIBLE TO ENSURE THAT ALL WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL REGULATIONS AND BYLAWS, AND THE OCCUPATIONAL HEALTH AND SAFETY ACT.
- NOTING ON THESE DRAWINGS ARE FOR INFORMATION AND ASSISTANCE AND DO NOT NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION. THESE DRAWINGS DO NOT REPRESENT COMPLIANCE WITH ANY PAST OR PRESENT REQUIREMENTS FOUND ELSEWHERE BEYOND THE SCOPE OF WORK INDICATED.
- VERIFY ALL SITE CONDITIONS AND REPORT TO DESIGNER ANY DISCREPANCIES IN THE DESIGN DRAWINGS.
- ALL NOTES AND LEGENDS ON DRAWINGS ARE APPLICABLE TO ALL PAGES OF THIS DRAWING SET.
- ALL NOTES OF ALL PAGES OF THE ENGINEERING DOCUMENTS APPLY TO THE ENTIRE SCOPE OF WORK FOR THIS PROJECT.
- LUMBER SHALL BE SPF No. 1 / 2 OR BETTER UNLESS NOTED OTHERWISE.
- WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON CONCRETE WITHOUT PROTECTION: PROVIDE EITHER PRESSURE TREATED LUMBER OR 6mil POLY ETHYLENE SHEET.
- ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED OR STAINLESS STEEL.
- FOR ALL BUILT UP MEMBERS PROVIDE A BUILT-UP POST WITH AN EQUAL OR GRATER THICKNESS BELOW TO TRANSMIT LOAD TO FOUNDATION.
- ALL FOOTINGS TO BE FOUND ON UNDISTURBED NATIVE SOIL WITH A MINIMUM SOIL BEARING CAPACITY AS PER O.B.C.
- DIMENSIONS OF WINDOWS REFLECT ROUGH OPENING SIZE. VERIFY ACTUAL WIDTH OF WINDOW.
- STRUCTURAL SUFFICIENCY OF GLASS (GLASS THICKNESS, MAXIMUM GLASS AREA, ETC.) TO CONFORM TO O.B.C. 9.6.1.3.
- INSTALL SOLID BLOCKING OR CROSS BRIDGING IN FLOOR JOISTS AT 6'-11" O.C. MAX.
- INSTALL SOLID BLOCKING IN WASHROOM FOR FUTURE INSTALLATION OF GRAB BARS.
- GAS FIRE PLACE, DRYER, STOVE EXHAUST FAN, TO BE VENTED TO EXTERIOR.
- SUMP PIT TO BE INSTALLED WITH LOCKING LID. DISCHARGE AS PER MUNICIPALITY REQUIREMENTS OR SITE WORKS ENGINEER.
- 6'-5" HEADROOM CLEARANCE REQUIRED THROUGHOUT (AND UNDER ALL DUCTWORK)
- TAKE APPROPRIATE PRECAUTIONS TO PROTECT BUILDING FROM RADON GAS AS PER O.B.C AND LOCAL REGULATIONS, SITE VERIFY SITE CONDITIONS.


**LEGEND:**

- EXISTING WALL TO REMAIN, SITE VERIFY DIRECTION OF FRAMING ABOVE, TYPICAL
- WALL TO BE REMOVED
- NEW WOOD STUD WALL
- INTERCONNECTED SMOKE AND CO DETECTOR WITH A VISUAL SIGNALING COMPONENT
- EXHAUST FAN

**TYPICAL INTERIOR WALL, U.N.O.**  
 1/2" DRYWALL  
 WOOD STUDS AT 16" O.C.  
 (REFER TO PLAN FOR SIZE)  
 1/2" DRYWALL  
 \* PROVIDE MOISTURE RESISTANT DRYWALL IN WASHROOM AND HIGH MOISTURE AREAS

**TYPICAL EXTERIOR WALL**  
 REFER TO SECTION FOR CONSTRUCTION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND MEETS THE QUALIFICATIONS AND REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.


  
 NAME: DARRELL GRUBB  
 FIRM: D WORKS INC.  
 BCIN No.: 32453  
 FIRM BCIN: 44231

**NOTES:**

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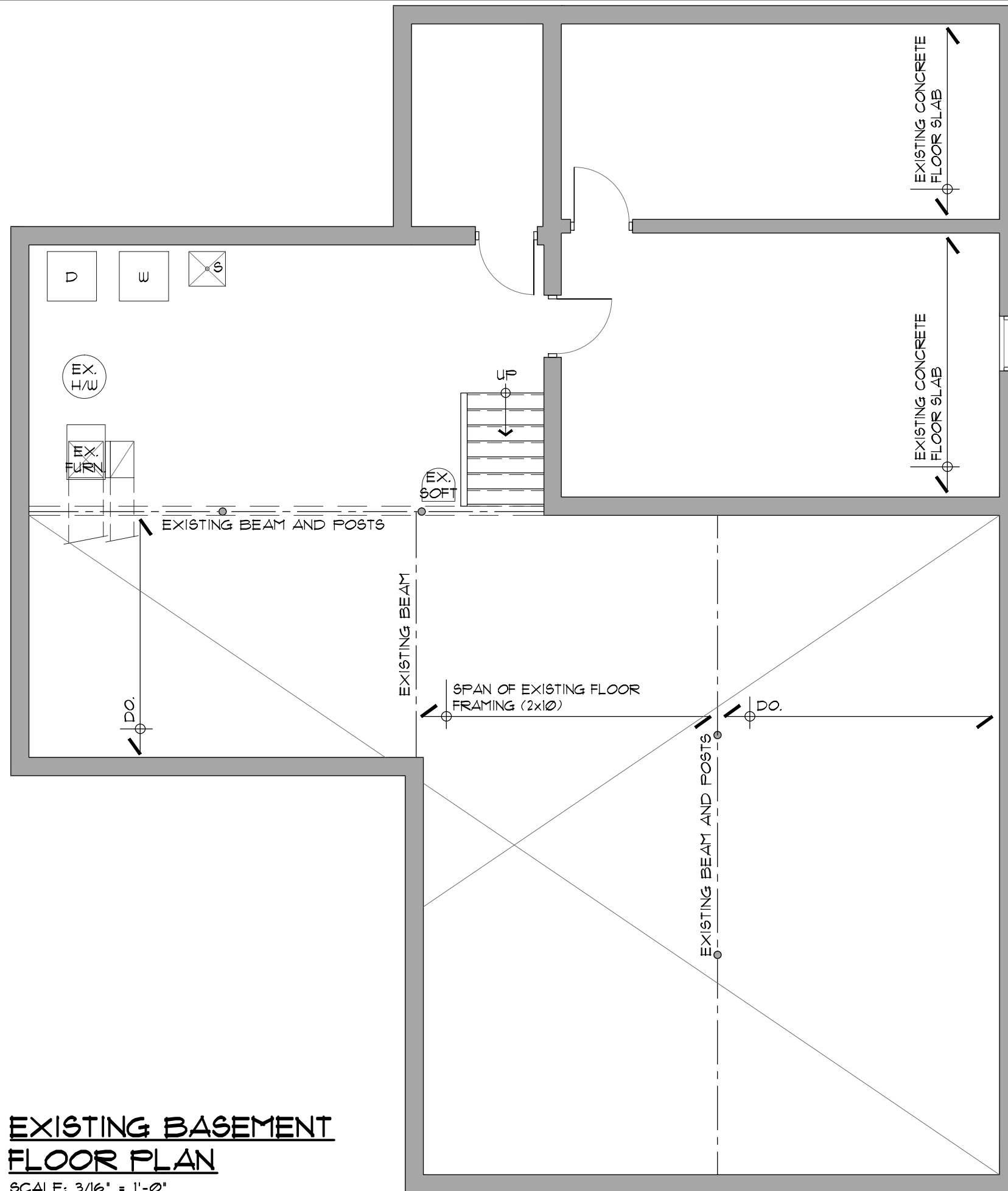
2.	JULY 02 2021	ISSUED FOR BUILDING PERMIT
1.	DEC 10 2020	ISSUED FOR CLIENT REVIEW

**designWORKS**  
 kitchener, ontario  
 519.575.1655  
 darrell@dworks.ca  
 www.dworks.ca

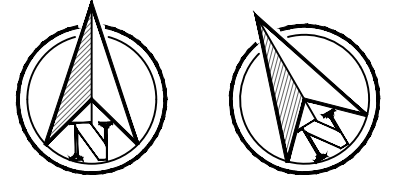
client:   
 project: **ACCESSORY APARTMENT**  
 41 ERAMOSA CRESCENT  
 GUELPH / ERAMOSA TOWNSHIP, ONTARIO

**NOTES / LEGENDS**

scale:	3/16" = 1'-0"	sheet:	<b>1.0</b>
date:	NOV 2020		
drawn by:	D.G.		
project no.:	1536-20		



**EXISTING BASEMENT FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"



PROJECT NORTH      ACTUAL NORTH

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*Darrell Grubb*

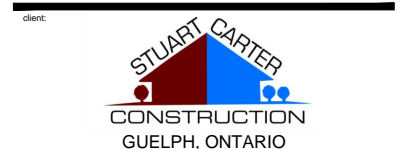
NAME: DARRELL GRUBB  
 FIRM: D WORKS INC.  
 BCIN No.: 32453  
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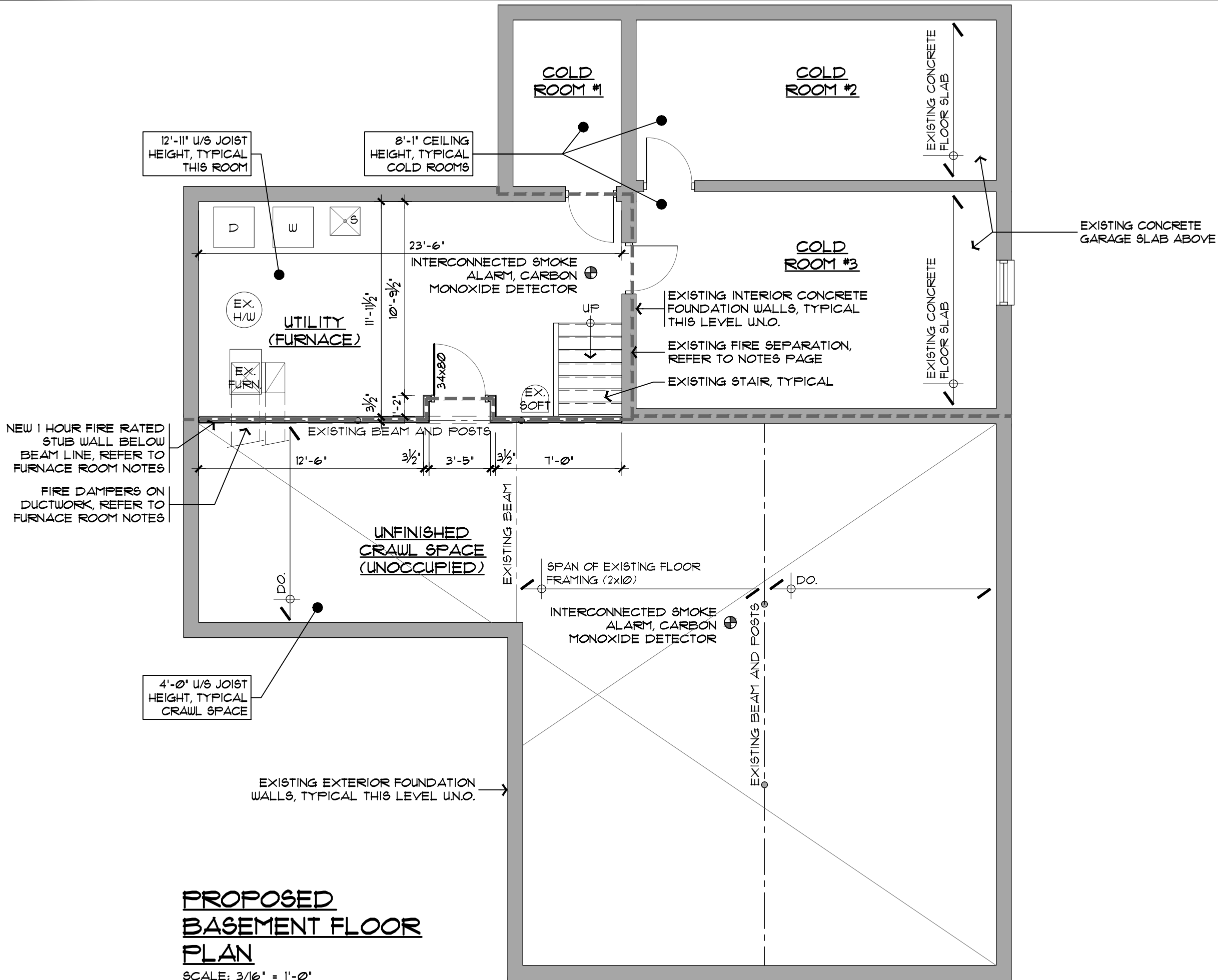
project:

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 41 ERAMOSIA CRESCENT  
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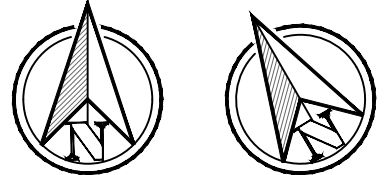
sheet title:

**EXISTING BASEMENT PLAN**

scale:	3/16" = 1'-0"	sheet:	<b>1.1</b>
date:	NOV 2020		
drawn by:	D.G.		
project no.:	1536-20		



**PROPOSED  
BASEMENT FLOOR  
PLAN**  
SCALE: 3/16" = 1'-0"



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*Darrell Grubb*

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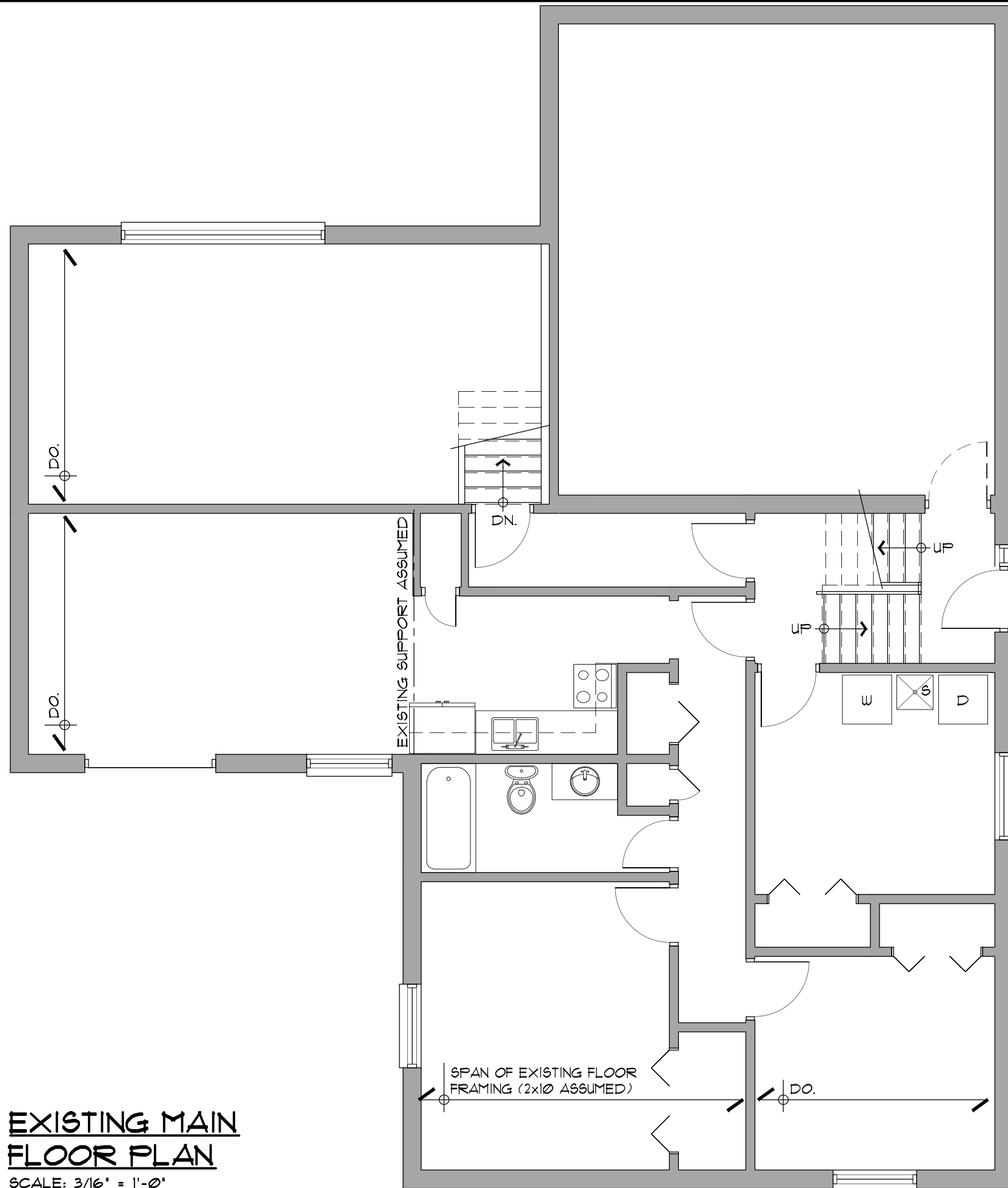
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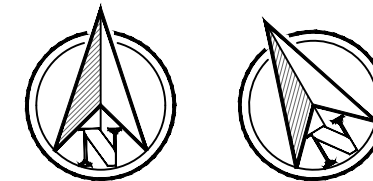
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APARTMENT**  
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GUELPH / ERAMOSIA TOWNSHIP, ONTARIO

**PROPOSED  
BASEMENT PLAN**

scale:	3/16" = 1'-0"	sheet:	<b>1.2</b>
date:	NOV 2020		
drawn by:	D.G.		
project no.:	1536-20		



**EXISTING MAIN FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



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*D.G.*

NAME: DARRELL GRÜBB  
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BCIN No.: 32453  
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client:  
**STUART CARTER**  
CONSTRUCTION  
GUELPH, ONTARIO

project:  
**ACCESSORY APARTMENT**  
41 ERAMOSA CRESCENT  
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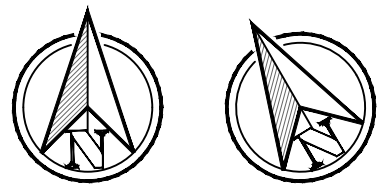
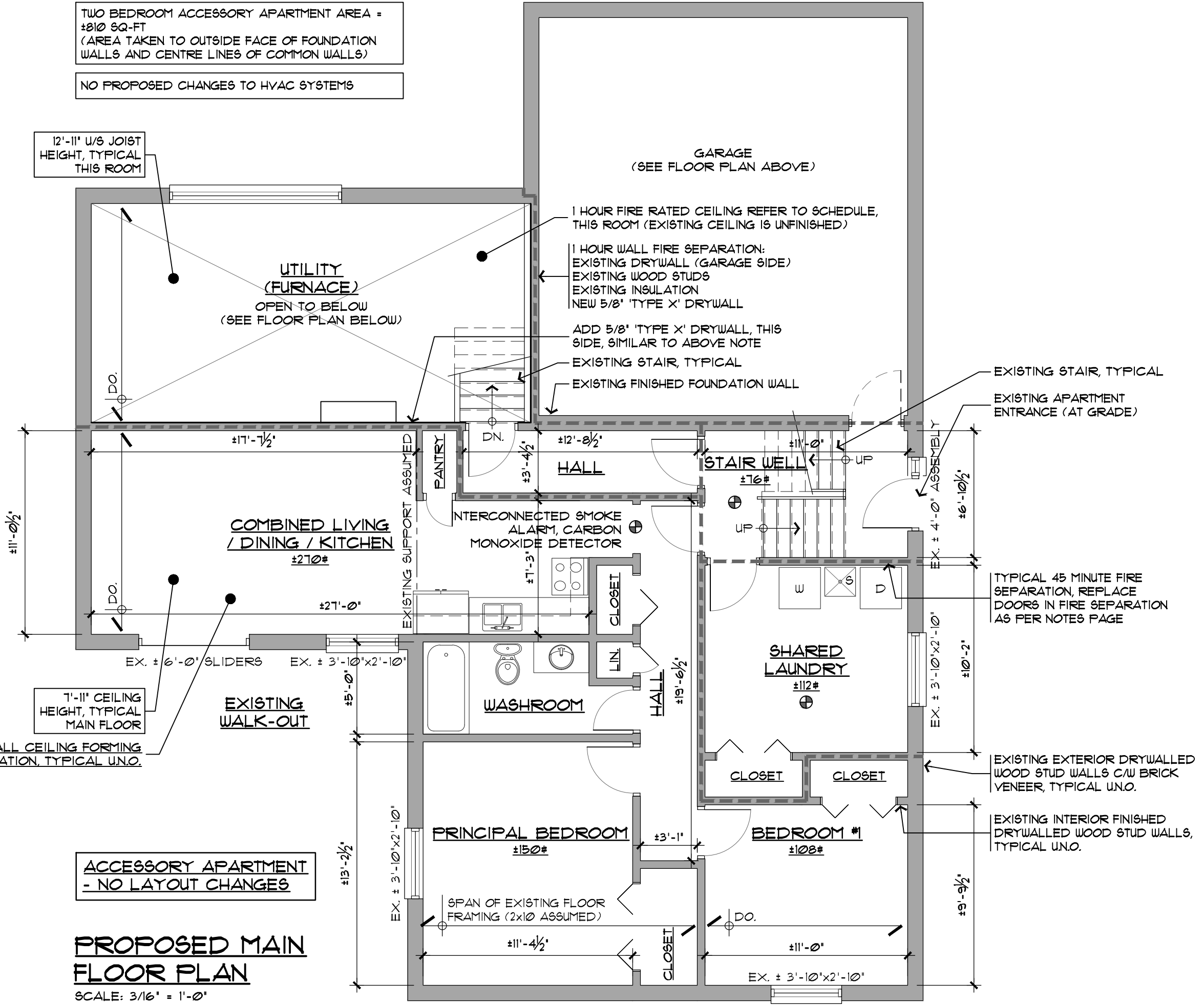
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scale:	3/16" = 1'-0"	sheet:	<b>1.3</b>
date:	NOV 2020		
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TWO BEDROOM ACCESSORY APARTMENT AREA = ±810 SQ-FT  
(AREA TAKEN TO OUTSIDE FACE OF FOUNDATION WALLS AND CENTRE LINES OF COMMON WALLS)

NO PROPOSED CHANGES TO HVAC SYSTEMS

12'-11" W/S JOIST HEIGHT, TYPICAL THIS ROOM



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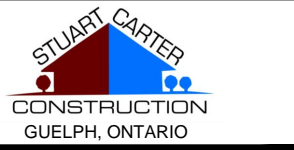
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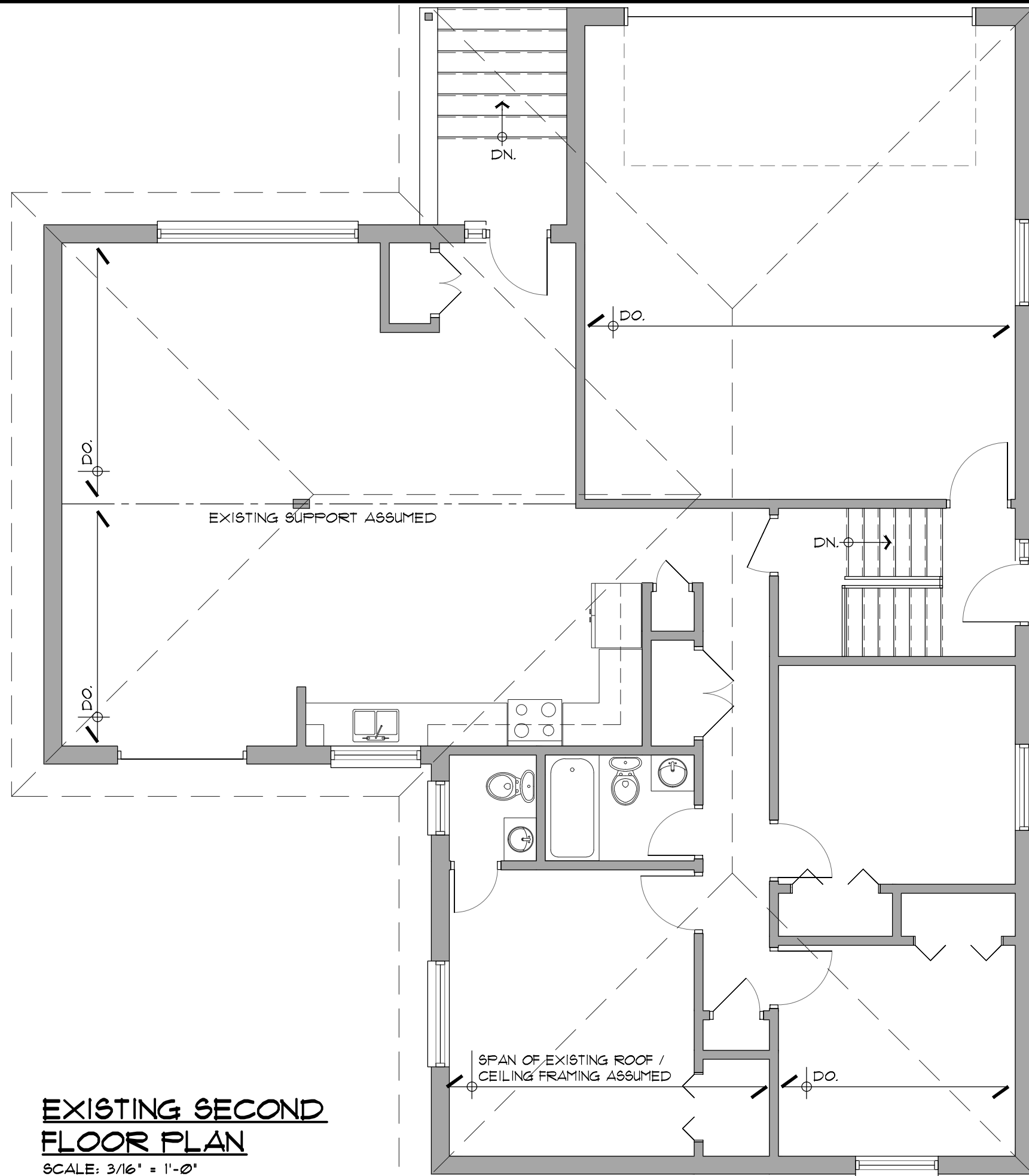
PROPOSED MAIN FLOOR PLAN

scale:	3/16" = 1'-0"	sheet:	1.4
date:	NOV 2020	drawn by:	D.G.
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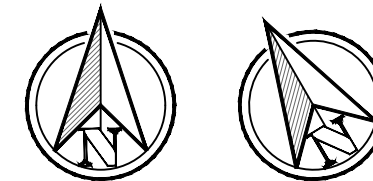
ACCESSORY APARTMENT - NO LAYOUT CHANGES

PROPOSED MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"



**EXISTING SECOND FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"



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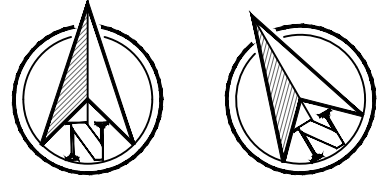
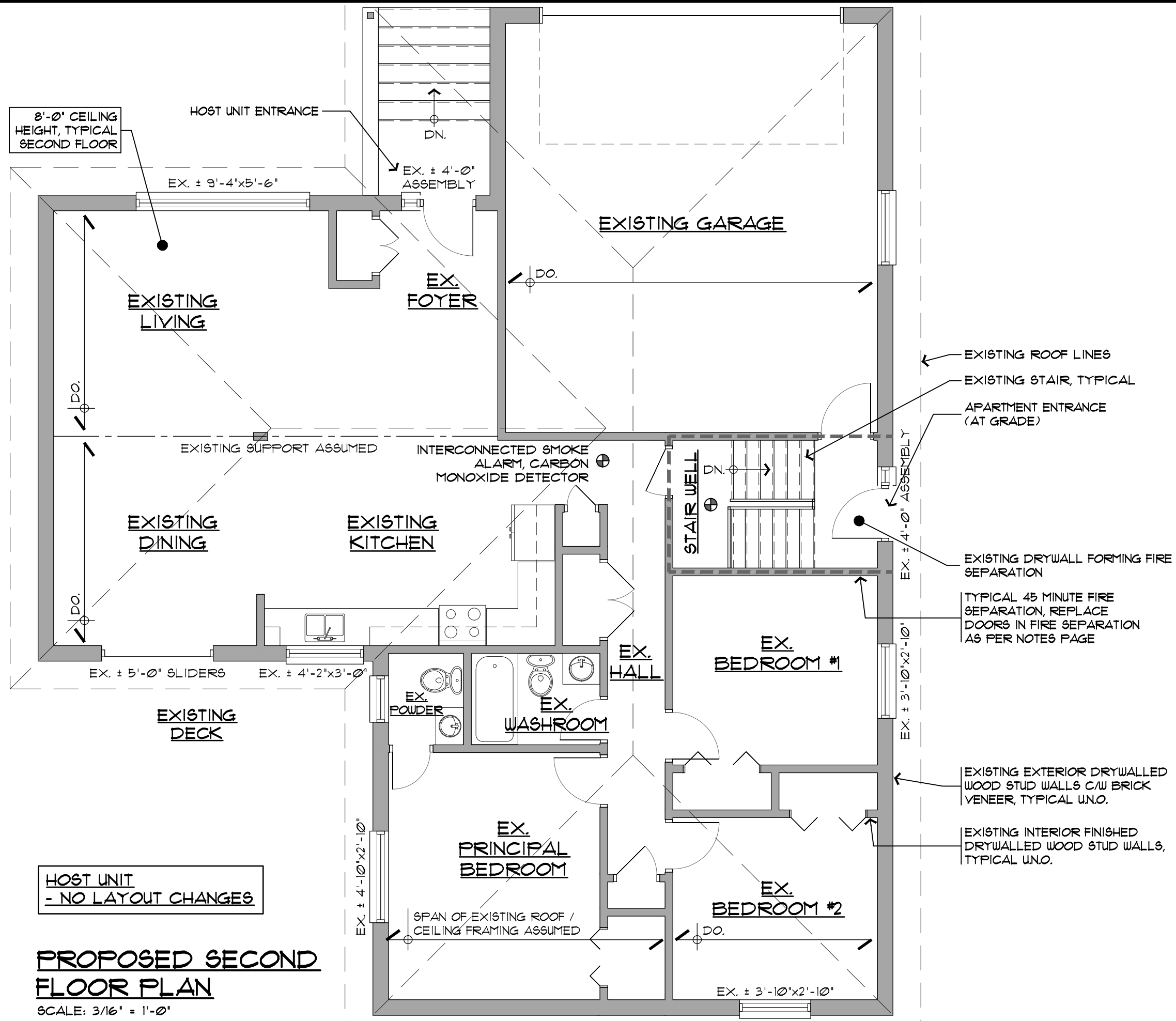
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sheet title:

**EXISTING SECOND FLOOR PLAN**

scale:	3/16" = 1'-0"	sheet:
date:	NOV 2020	<b>1.5</b>
drawn by:	D.G.	
project no.:	1536-20	



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project:  
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**PROPOSED SECOND FLOOR PLAN**

scale:	3/16" = 1'-0"	sheet:	<b>1.6</b>
date:	NOV 2020		
drawn by:	D.G.		
project no.:	1536-20		

**PROPOSED SECOND FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"